Cautionary Statement to Owners Obtaining Building Permits

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

(a) The owner may be held liable for any bodily inquiry to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

(b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that occurs in connection with the work performed under the building permit.

Cautionary Statement to Contractors for Projects Involving Building Built Before 1978

If this project is in a dwelling or child-occupied facility, built before 1978, and disturbs 6 sq. ft. or more of paint per room, 20 sq. ft. or more of exterior paint, or involves windows, then the requirements of ch. DHS 163 requiring Lead-Safe Renovation Training and Certification apply. Call (608)261-6876 or go to the Wisconsin Department of Health Services' lead homepage for details of how to be in compliance

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service center.

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Owner's Signature:	Date:
Building Inspector:	Date:

Contractor Credential Requirements

All contractors shall possess an appropriate contractor credential issued by the Wisconsin Division of Safety and Buildings. Contractors are also required to only subcontract with contractors that hold the appropriate contractor credentials.

STANDARD CONDITIONS OF APPROVAL

Project Address Permit

Please read the following information and sign at the bottom to acknowledge that you have *read* and agree to comply with these conditions.

*All new construction work must meet the Wisconsin Uniform Dwelling Code, NEC, and the Wisconsin Uniform Plumbing Code requirements.

- 1. Notice is required per SPS 320.10(1)(a). We will make every effort to make the inspection within 24 hours of your request time, you shall not proceed past the point of inspection until 2 business days after the time the project was stated "ready". Cancel/reschedule when not ready
- 2. Install and maintain all Erosion Control devises as identified in the Approved Erosion Control Plan and as required by the Wisconsin Construction Site Best Management Handbook.
- 3. All site grading must be done in accordance with the approved drainage plan on file in the municipal office. It shall be the responsibility of the permit applicant to research existence of any such drainage plan.
- 4. Remove tracking sediment (dirt) from street at the end of each work day. (Repetitive or continuous tracking on the road will not be tolerated). Maintain all road drainage systems, ditches and tracking provisions, storm water drainage systems, control measures and other facilities identified in the Erosion Control Plan, if not removed from the roadway at the end of each day I understand that a Stop Work Order or a Citation will be issued.
- 5. The General Contractor or property owner/applicant is responsible for compliance with SPS 321.125 (Erosion Control). When installing access drives, a minimum of 2"-3" diameter stone is required in addition to a minimum of 6" depth, 30'-50' length, and 14'-20' width. Erosion control measures must be maintained until a lawn is established. After occupancy is granted it is the responsibility of the general contractor to notify the property homeowner that erosion control measures must be maintained.
- 6. The building permit card must be posted on site at all times along with the address.
- 7. All footing column pads must be formed and not puddle-poured.
- 8. All foundation wall reinforcement shall be provided per SPS 321.18
- 9. All mechanicals must be roughed in prior to requesting the rough building inspection including finished basement areas, sealing all penetrations must be completed before call for rough inspections. (Penetrations in exterior walls, top and bottom plates, gaps in heating ducts, and holes in the return air spaces) must be sealed prior to the insulation inspection. If on the inspection the mechanicals in all finished areas are not roughed in the inspection will fail. A re-inspection fee will be charged for a re-inspect.
- 10. All habitable rooms must be provided with 8% light and 3.5% ventilation. Bedrooms located on the second floor or below or below ground level must be provided with egress windows in addition to light and ventilation requirements SPS 321.05.
- 11. Guards (spindles) spacing 4 3/8".
- 12. Garage spaces shall be separated from the dwelling unit in accordance with SPS 321.08. The door and frame assembly between the dwelling unit and an attached garage shall be labeled by an independent testing agency as having a minimum fire-resistance rating of 20 minutes. All drywall joints are required to be taped/sealed unless the joints are fitted so that the gap is no more than a dimes thickness (1/20-inch) and backed by solid wood or drywall with joints staggered.

- 12. Smoke detectors are required on every floor and in each bedroom and in the vicinity of the bedroom group. On floors levels that do not contain a sleeping area, an alarm shall be installed in a common area. SPS 321.09
- 13. **Carbon monoxide detector** in the basement of the dwelling and on each floor level except the attic, garage, or storage area of each dwelling unit. A carbon monoxide detector wired to the dwelling's electrical wiring system shall have a backup battery power supply.
- 14. Hydro massage tubes are required to have an access panel to motor. The access panel must be accessible without moving finish of the house.
- 15. Truss plans including the layout must be provided on site at the rough building inspection. In addition to the truss plans, microlam calculations must be provided on site at the rough building inspection for all microlams with point loads on them.
- 16. Blocking or diagonal bracing shall be provided at 32" spacing or less between rim joists and the first row of parallel floor joists so as to provide adequate lateral support for the top of the foundation wall
- 17. All overframing must be designed by truss manufacturer, according to standards set by the truss plate institute, or structural calculations must be provided prior to the rough building inspection.
- 18. All 120 volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family, dining and living rooms, parlor, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed arc-fault circuit interrupter, combination-type, installed to provide protection of the branch circuit. NEC 210.12 (B)
- 19. Tamper-Resistant Receptacles in Dwelling Units. In all areas specified in 210.52, all 125-volt,15- and 20-ampere receptacles shall be listed tamper-resistant receptacles. NEC 406.11
- 20. 2009 WI Energy Efficiency Certificate must be posted on or immediately adjacent to electrical distribution panel. SPS 322.20(6)
- 21 .Calculations must be provided for all cantilevered floors with point loads. Floor trusses and TJI's must be designed for the cantilevered areas.
- 22. Provide attic scuttle. SPS 321.07
- 23. In the new home packet is a copy of the final inspection checklist. At the final inspection all items on this list must be completed to avoid the re-inspection fee per inspection.
- 24. When requesting final inspections please note that a minimum of 5 days notice is needed from the time the inspection is ready. Occupancy may proceed if the inspection has not been completed within 5 business days after notification. SPS 320.10
- 25. AN OCCUPANCY PERMIT IS REQUIRED BEFORE YOU OR YOUR HOMEOWNER IS ALLOWED TO BRING LARGE ITEMS INTO DWELLING (approval for boxes that will not affect inspection may be granted by the inspector), FINE FOR OCCUPANCY WITHOUT A PERMIT IS \$100 PER DAY.

Signature of Applicant:	Date:

Revised 6-10-2019

CONSTRUCTION DEPOSIT AGREEMENT

The undersigned does hereby deposit the sum of one thousand dollars(\$1,000) with the Town of Chase to be used as a Construction Deposit. This deposit is to be held in escrow and used for any damages to the Town's property and other fees determined necessary by the Town; these other fees to include re-inspections, street cleaning and occupancy without a permit. These fees are noted on the permit fee schedules and are subject to occasional updating as may become necessary. Note that each day of occupancy without a permit is a separate offense and may be fined as such.

This deposit shall constitute an agreement on the part of the primary permit holder to assume financial responsibility on behalf of all persons directly or indirectly employed in the work for which a permit is secured. By signing hereunder, the undersigned hereby authorizes the Town of Chase to deduct from this deposit any amount(s) needed to correct damages or other assessed fees as stated above. In so executing this document, the undersigned acknowledges that the undersigned will pay within ten (10) days any sums due and owing to the Town resulting from charges in excess of the one thousand dollars (\$1,000) deposit made hereunder. If default of payment occurs, it is further understood that any cost of the Town shall be assessed against said property in the form of a special assessment in the property taxes.

In so executing the document, the undersigned authorizes the building inspector for the Town of Chase to stop any further construction by the undersigned in the Town of Chase until such time as the one thousand dollar (\$1,000) deposit has been replenished.

In so executing this document, the undersigned binds the undersigned, said undersigned's heirs, assigns and transferees in interest.

Dated this	Day of	Year
Name of Owner or Con	tractor or Authorized Officer:	
(Please Print) F		
F	irst MI	Last
Signature		
	Telephone _	
Date Paid	Received By	
Completion Date-Final I	Inspection	ОК Ву
	Address	
Refunded By	Dated	Amount
Amount Deducted	Reason	

Retain this copy for your record. No separate receipt will be issued.

FINAL INSPECTION CHECKLIST

Address:

If the following violations are present, an occupancy permit will not be issued

Switched light/outlet at each habitable room
 No open electrical wires (cover plates req.) GFCI protection (garage, outdoor, kitchens, bathrooms, whirlpool tubs, basement- at least 1 outlet required) Bedroom egress, 2nd floor or basement (20"x24" clear opening, 46" sill height max.) Cap all unused plumbing pipes Electrical system bonded to water and gas system 5/8" gypsum at garage common wall & at attached porches (penetrations in the common wall and top plates must be sealed) 20 min. listed & labeled frame and door req. between the house and the garage (must be labeled by an independent testing agency) Secured attic access at the garage (screws are not allowed) Uniform stair risers (3/8" max. variation within the
individual stairway) max. rise 8", min. tread 9" Electrical:
 access must be provided to the electrical source for all appliances all electrical fixtures must be installed incandescent closet lights (min. 12" from shelves) panel board labeled fluorescent closet lights (min. 6" from shelves) working clearance for panel board (36" front & 30" sides)
 Plumbing: vacuum breakers at hose bibs, laundry trays (if threaded) shut-offs at toilets, dishwasher mechanical shock absorber at dishwasher, washing machine water heater pressure relief valve within 6" of the floor hangers at 48" o.c. for PVC vents and drain hangers at 72" o.c. for copper water lines hangers at 10' (ft.) o.c. for gas pipe lines air gap on discharge hose for water softener & dishwasher

<u>NOTE</u>: This handout is intended to provide owners/contractors with a simplified review of the minimum code provisions that must be met to allow occupancy. This handout is not, however, all-inclusive.

The contractor/owner must sign and date this form in acknowledgement that the above items are complete.

This form must be received by our office when scheduling final inspections on a New Home or Addition. PROJECT ADDRESS

CONTRACTOR / OWNER SIGNATURE	DATE

	Bobbie 1	Krozell				BUILDING				ermi				
	N3082 Gras	ss Lk Rd.		PERI	MI	T APPLICA	TION		P	arcel	No.			
-all	Clintonville, Ph. 715-82	23-9140	Project	Description	2									
	Fax 715-82	23-9110	Buildir	uilding Address										
Owner's Name				Mailing Add	ress						Tel.			
Contractor Name	& Type			Lic/Cert#		Mailing Address				Tel.	& Fax			
Dwelling Contra	a construction of the second second second													
Owelling Contr.	Qualifier					The Dwelling CEO, COB or								
HVAC														
Electrical														
Plumbing						T								
PROJECT I	NFORMATI	ON Lot are	a	Sq.		Subdivision Name					Lot	No.		
Zoning District(s	5)	Zoning Per No.	mit	One acre of more of soil w		Setbacks:	Front	ft.	Rear	ft.	Left	ft.	Right	ft
1. PROJECT			UPANCY	be distrubed	RIC	10. HVAC	EOUIP.		. ENERGY		RCE			
				Entrance Par	nel	G Furnace		-	FUEL	Nat. (Oil E	lec. Solid	Solar
C New	Repair	G Single		Amps: Radiant Basebd			SP	ACE HTG.		a				
Addition	C Move	Garage		Over	Overhead Gentral AC		p	WA	TER HTG.					
Other:		Other:					2	Dwelling unit has 3 kilowatt or more in electric space heati					e heatin	
				U Wood Fra	me	□ Fireplace			ipment capac					
2. AREA INVO	LVED (Sq ft)	4. CONS	ST. TYPE	Timber/Pe	ole	□ Other		-						
Unfin. Bsmt			er WI UDC	Other:	TIO	11. SEWER						DTUAL	DTHICH	
Fin. Bsmt		G Mfd. p	er US	8. FOUNDATION Concrete Masonry Treated Wood		Municipa	1	Envelope and Infiltration Losses ("Maximum Al			R Total Cal m Allowabi			
Living Area Bonus Area		- HOD				Sanitary Permit #		Heating Equipment Output" on Energy Worksheet; "Total Building Heating Load" on Rescheck report)						
Garage		5. STOP	RIES											
Deck		I-Story		G Other:		12. WATER 1		14	14. EST. BUILDING COST w/o LAND					
Other		2- Stor	у	9. USE			14.1							
Totals		Other:		 Seasonal Permanent Other: 		G Municipal On-Site W	:11	5						
express or implie s subject to ch. 1 expressly grant proper purpose to I vouch that 1 Contractor Cert	ed, on the state or NR 151 regarding the building inspe- to inspect the work a am or will be a tification and hav	municipality; additional er ector, or the i c which is bei n owner-occu ve read the c	and certify osion contro nspector's and ng done. Ipant of this autionary s	that all the above of and stormwated athorized agent, as dwelling for we tatement regar	ve info er mar permi which ding o	conditions of this per primation is accurate. In agement and the own ission to enter the pre I am applying for an contractor responsib	f one acre or her shall sign mises for whi erosion con ility.	more of the star ch this	of soil will b tement on th permit is so construction	e dista le back ought a	arbed, I un c of the pe at all reas	nderstan ermit if i onable h out a Dy	d that this not signin nours and welling	projec g belov
	CONDITION					ollowing conditions. I		ply ma	ay result in s	uspen	sion or re	vocation	of this	
		perm	it or other p	enalty. 🗆 See a	ttache	ed for conditions of a	pproval.							
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		Phone		Framer
		Phone		Excavator
	Lic/Cert#	Phone		Plumber
	Lic/Cert#	Phone		Electrician
	Lic/Cert#	Phone		HVAC
Qualifier #	Dwelling Contractor#	Phone		Contractors
Phone	11	Owner	rs List:	Contractors List:
	R FRAMING INSPECTIONS)	TRUSS PLANS & LAYOUT (HAVE ON SITE FOR FRAMING INSPECTIONS)	00	
LABS, UNIQUE CONSTRUCTION ESS & PHONE # AS WELL AS ALL OR RETAINED ON SITE FOR	RUCTURAL ANALYSIS; (FLOATING SL ,TA WITH PREPARERS NAME, ADDRE ANCES ETC. ARE TO BE PROVIDED C	FOR ALL COMPONENTS DESIGNED THROUGH STRUCTURAL ANALYSIS; (FLOATING SLABS, UNIQUE CONSTRUCTION METHODS,ETC) FORMULAS, CALCULATIONS & DATA WITH PREPARERS NAME, ADDRESS & PHONE # AS WELL AS ALL INSTALLATION INFORMATION ON HEATING APPLIANCES ETC. ARE TO BE PROVIDED OR RETAINED ON SITE FOR REVIEW	17.	
	UMBER REGISTRATION	MANUFACTURED DWELLING HUD - SERIAL NUMBER REGIS	16.	
	COPY OF DATA PLATE	MANUFACTURED DWELLING UDC - SUBMIT A COPY OF DAT	15	
MENT. COMPLETED	ER & LIGHT COMISSION DEPARTM	UTILITY & WIRING AFFIDAVIT FOR THE WATER & LIGHT COMISSION DEPARTMENT. COMPLETED	14	
		EXCAVATION AND/OR DRIVEWAY PERMIT	13.	
	, PIERS, ROOF, ETC.)	WALL CROSS SECTION (WALLS, FOUNDATIO, PIERS, ROOF	12.	
		SIGNED CONDITIONS OF APRROVAL	11.	
	R COUNTY)	A COPY OF THE SANITARY PERMIT (LOCAL OR COUNTY)	10.	
	AIT (ISSUED BY THE COUNTY)	A COPY OF THE LAND USE OR ZONING PERMIT (ISSUED BY	9.	
	ROVEMENTS (2 SETS)	SCALED SITE PLAN SHOW SETBACKS & IMPROVEMENTS (2)	ġø	
~	EQUIRED BY YOUR MUNICIPALITY	CONSTRUCTION DEPOSIT AGREEMENT IF REQUIRED BY YOUR MUNICIPALITY	7.	
		BUILDING APPLICATION COMPLETED	6.	
		ENERGY CALCULATIONS- SPS 322	S	
ONS & BE LEGIBLE)INCLUDE	' X 17" MUST HAVE ALL DIMENSIO	2 SETS OF HOUSE PLANS (ONE MIN. SIZE 11" X 17" MUST HAVE ALL DIMENSIONS & BE LEGIBLE)INCLUDE DETAIL WALL BRACING	4.	
sures shall be in place 24 hrs after beginning of	l mea	EROSION CONTROL PLAN -SPS 321.125 Erosion control mea excavating- otherwise no inspections will be performed	ω	
	C QUALIFIER LICENSES	SUBMIT A COPY OF UDC CONTRACTOR & UDC QUALIFIER LICENSES	2	
RMIT WI State Statues 101.65(I	OMEONWER) IS TAKING OUT PEF	SIGNED CAUTIONARY STATEMENT IF YOU(HOMEONWER) IS TAKING OUT PERMIT WI State Statues 101.65(Ir)	4	
	SUBMITTAL	ITEMS NEEDED FOR PLAN SUBMITTAL	STAFF	OWNER OR BUILDER CHECKLIST
T	Permit Checklist	Uniform Dwelling Code		

TOWN OF CHASE

Park Fee Receipt

Date:	Permit #:	
Owner :	Contractor:	
Address	Address:	
Contact number:	Contact number:	

8.02 PARK IMPACT FEE REGULATION.

The purpose of this Ordinance is to promote the public health, safety and general welfare of the community and to facilitate the adequate provision of parks, playgrounds and land for athletic facilities by imposing impact fees upon developers or property owners to pay for the capital costs of public facilities that are necessary to accommodate land development.

(6) Parks and Recreation Facilities Impact Fee.

(a) Any developer or property owner creating or constructing additional residential dwelling units within the Town shall pay a fee to the Town to provide for the capital costs necessary to accommodate the park and recreational needs of land development, except as provided in Sec. 8.08.

(b) The amount of a fee per structure to be constructed or created by the proposed development, subject to adjustment pursuant to Sec. 8.09, shall be as follows:

1. For single-family or two-family residential development, the fee shall be \$650.00 per structure.

2. For multi-family residential development of three or more dwelling units, the fee shall be \$325.00 per dwelling unit within each multifamily residential structure.

FEE PAID:			
the second se	the second se	 	

Applicant

Date

Town Inspector

Date

Check number # _____

Affidavit of Plumbing Testing

With the inspector's permission, per SPS 382.21(1)(b)1b, complete entire form. Use of this form is not mandatory. The is a suggested format that a plumber may replace with their own affidavit. Print or type clearly. Call for your rough inspection and inform the inspector that you have completed the testing and the affidavit. Provide this completed form to the inspector prior to or at the time of the rough-in inspection.

Date of test:

Responsible Master: Responsible MP Number:

Personal information you provide may be used for secondary purposes [Privacy Law, s. 15.04 (1)(m)].

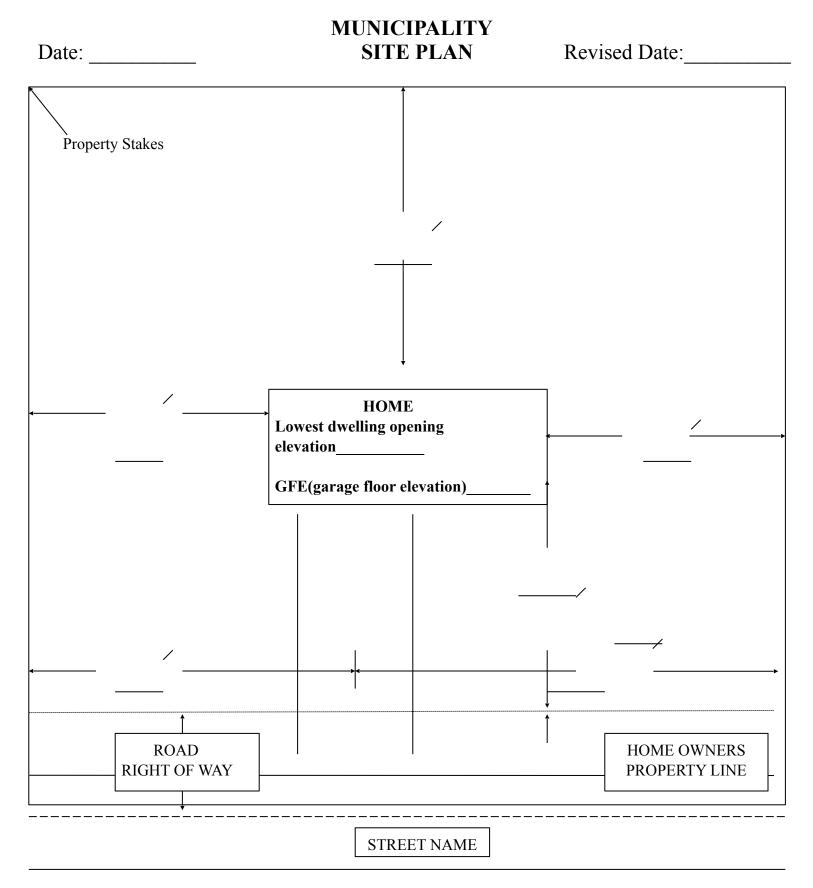
	Owner and Site Information
Owner's Name:	
Project Site Address:	
Project Site City:	
Type of project (check New plumbing installa	one): tion Remodel or addition Repair Other

If other, explain:

Testing	Information				
Sanitary Building Sewer or Private Interceptor Main Sewer:	Water test (10' for 15 minutes) Air test (3 psig for 15 minutes) (air test not recommended for plastic pipe)				
Water Service or Private Water Main::	Water test (Working pressure) Air test (Working pressure)				
Building Drain	Water test (10' except for top 10' for 15 minutes) Air test (5 psig for 15 minutes)				
Drain & Vent System	Water test (10' for 15 minutes) Air test (5 psig for 15 minutes)				
Water Distribution	Water test (Working pressure) Air test (Working pressure)				
Air Admittance Valves	Manometer test to 1" water column				

Responsible Master Plumber - signature

Witness (not required) - signature



SHOW & LABEL

North Arrow ----- Street Name

E/C – Erosion Control including silt fence and or stock piles

D.W.- Driveway –including width & distance from property corner to center of driveway

Set Backs – Must be shown and dimensioned to structure. If house sits on a corner lot or at an angle,

the set back is from the closest or nearest point to the lot line.

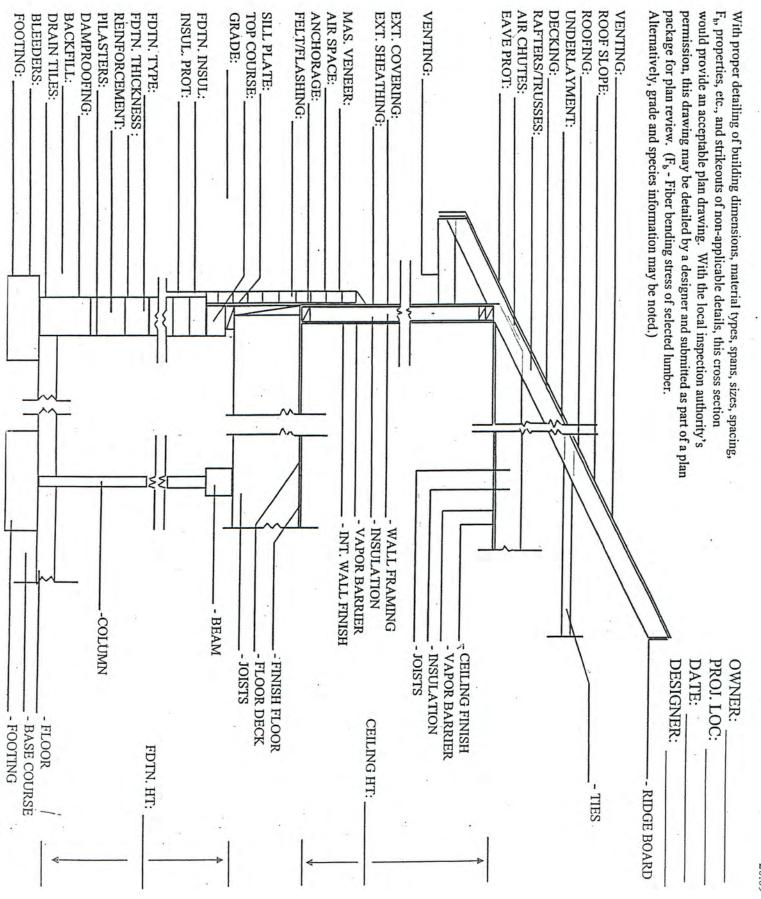
Show in red (pen or pencil) if house is sitting at an angle or different from diagram

IF ANY OF THE ABOVE CONDITIONS DO NOT PERTAIN, YOU MUST CONVEY THIS FACT BY N/A (NOT APPLICABLE)

Owners Name:

Contractors: ______
Contractors Cell Phone No.: _____

PLEASE FILL OUT COMPLETELY ANYTHING THAT DOES NOT APPLY PLEASE SPECIFY N/A



20.09