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ctor Items needed for Plan Submittal	Copy of County Land/Zoning Permit	. Copy of County/ Municpal Sanitary Permit	Construction Deposit Agreement	Driveway/Culvert Permit Application	Park Fee Receipt	Signed Cautionary	Signed Erosion Control	Signed Conditions of Approval	2 -Signed completed Res/Check with Plant Sizing	2 - Scaled Site Plans (Erosion Control, Setbacks, Well, Septic/Sewer, Lotlines and Other Structures)	2 - Sets of Plans Min.11"x17" Also include Wall Bracing, Tall Wall Design (Labeled Floor Plans per SPS320.09(5)and(6)) Size of rooms, doors, windows, sructural features, exit passways and stairs,. Cross Section with all required details.	Building Permit Application (Filled out completely and to include all contractors licenses and expiration dates)	File all permit information with State for ACT 211 (follow instructions on State website) https://esla.wi.gov/apex/customer_portal_intro_page (Have building permit application from above step completed, Act 211 will ask for the same information in the same order.)	Call, Text or Email Building Inspector with Questions David Szela (920) 606-1392 daveszela5@gmail.com Permits by Appointments with Inspector at Chase Town Hall
Owner or Inspector Bldr Checklist														

CONSTRUCTION DEPOSIT AGREEMENT

The undersigned does hereby deposit the sum of one thousand dollars(\$1,000) with the Town of Chase to be used as a Construction Deposit. This deposit is to be held in escrow and used for any damages to the Town's property and other fees determined necessary by the Town; these other fees to include re-inspections, street cleaning and occupancy without a permit. These fees are noted on the permit fee schedules and are subject to occasional updating as may become necessary. Note that each day of occupancy without a permit is a separate offense and may be fined as such.

This deposit shall constitute an agreement on the part of the primary permit holder to assume financial responsibility on behalf of all persons directly or indirectly employed in the work for which a permit is secured. By signing hereunder, the undersigned hereby authorizes the Town of Chase to deduct from this deposit any amount(s) needed to correct damages or other assessed fees as stated above. In so executing this document, the undersigned acknowledges that the undersigned will pay within ten (10) days any sums due and owing to the Town resulting from charges in excess of the one thousand dollars (\$1,000) deposit made hereunder. If default of payment occurs, it is further understood that any cost of the Town shall be assessed against said property in the form of a special assessment in the property taxes.

In so executing the document, the undersigned authorizes the building inspector for the Town of Chase to stop any further construction by the undersigned in the Town of Chase until such time as the one thousand dollar (\$1,000) deposit has been replenished.

In so executing this document, the undersigned binds the undersigned, said undersigned's heirs, assigns and transferees in interest.

Dated this	Day of _			Year
Name of Owner or Cor	ntractor or Authorize	d Officer:		
(Please Print)	First	MI		Last
Signature				
Address		Telephone		
Date Paid				
Completion Date-Fina	Inspection		OK By _	
Payable To: Name and	Address			
Refunded By		_Dated		Amount
Amount Deducted	1	Reason		ē.

Retain this copy for your record. No separate receipt will be issued.

\$ 70.00 Fee

Town of Chase Driveway/Culvert Permit Application

Date:	Permit number:
Owner:	Contractor:
Address:	Address:
Contact number:	Contact number:
<u>A</u> p	proval requirements
1.) Subdivision:	
2.) Building Site address:	
3.) Culvert required: yes [No provide an explanation if no is checked
4.) Size and type of culver	t requested (15" minimum)
5.) Length of culvert. (26 f	eet required)
6.) Minimum driveway wie	ith -12 feet-
7.) Apron end walls require	
8.) Erosion control measu	res must be included in plan
location, driveway specifications, included location/size, surface and base materilegible and submitted on an 8.5" by 1 construction of said driveway, including site plan, if necessary, shall be paid by responsibility of the owner, agent, or opublic town roads, the same day it was	sions, existing and/or proposed buildings, driveway ading grade, slope, width, length of the driveway, culvert ials and erosion control procedures. The plan must be 1°, 8.5° by 14°, or 11° by 17° sheet of paper. All costs of any the cost of the culverts, apron end walls, and detailed by the property owner requesting the permit. It is the contractor to clean any mud or other debris deposited on as deposited. If the applicant or agent fails to clean the Town will have it cleaned and charge all costs to the
approved by the Town Inspector and a	commence until the detailed site plan, if required, is a town driveway permit is issued and, when applicable, from Oconto County or the State of Wisconsin.
	the above driveway/culvert permit information and plans ding to the submitted plans with elevations grade and Chase.
Applicant	Date
Town Inspector	Date

Fee-- \$ 70.00

TOWN OF CHASE

Park Fee Receipt

Date:	Permit #:
	Contractor:
Address	_Address:
Contact number:	Contact number:
B.02 PARK IMPACT FEE REG	ULATION.
the community and to facilitat athletic facilities by imposing i	is to promote the public health, safety and general welfare of e the adequate provision of parks, playgrounds and land for impact fees upon developers or property owners to pay for ities that are necessary to accommodate land development.
dwelling units within the	roperty owner creating or constructing additional residential he Town shall pay a fee to the Town to provide for the capital mmodate the park and recreational needs of land
	e per structure to be constructed or created by the proposed o adjustment pursuant to Sec. 8.09, shall be
1. For single-fa be \$650.00 per 2. For multi-far	mily residential development of three or more dwelling hall be \$325.00 per dwelling unit within each multifamily
FEE PAID:	
Applicant	Date
Town Inspector	Date
Check number #	

NOTICE TO PERMIT APPLICANTS

Cautionary Statement to Owners Obtaining Building Permits
101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:
If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:
(a) The owner may be held liable for any bodily inquiry to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
(b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
Cautionary Statement to Contractors for Projects Involving Building Built Before 1978
If this project is in a dwelling or child-occupied facility, built before 1978, and disturbs 6 sq. ft. or more of paint per room, 20 sq. ft. or more of exterior paint, or involves windows, then the requirements of ch. DHS 163 requiring Lead-Safe Renovation Training and Certification apply. Call (608)261-6876 or go to http://dhs.wisconsin.gov/lead/WisconsinRRPRule.htm for details of how to be in compliance
☐ Wetlands Notice to Permit Applicants
You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service center. Wetlands Identification web page: http://dnr.wi.gov/wetlands/locating.html DNR Waterway & Wetland Permits web page: http://dnr.wi.gov/waterways/ WI Dept. of Natural Resources Service Center Link: http://dnr.wi.gov/org/caer/cs/servicecenter/ssbycity.htm#milwaukee
Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil
I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.
Signature below indicates receipt and acknowledgement of the contents of this document.
Applicant/Property Owner Name:
Signature: Date:
Parcel Number
Fire Number and Street Address of Project:
☐ File Copy ☐ Applicant/Owner Copy

STANDARD CONDITIONS OF APPROVAL EROSION CONTROL

EROSION CONTROL
Permit Number
Project Address
The property owner/applicant is responsible for compliance with SPS 321.125 and Conditionally Approved Plan.
• Erosion control measures shall be in place before beginning any excavating.
 Erosion control measures shall be placed along downslope areas as required to prevent or reduce erosion where erosion during construction will result in a loss of soil to: waters of the state public sewer inlets adjacent properties
 Slopes greater than or equal to 12% are not considered stabilized by seeding or mulching unless used in conjunction with tackifier, netting or matting.
• A non-tracking access roadway shall be installed prior to framing above the first floor decking. Use of aggregate stone with minimum 3" - 6" diameter is recommended for access drives, 6" depth, 50' length unless natural conditions such as sandy soils or solidly frozen soil already provide non-tracking access.
 Remove tracking (i.e. sediment) from street at the end of each work day. Maintain all road drainage systems and tracking provisions, storm water drainage systems and control measures
 Repair any erosion damage to adjoining surfaces and drainage ways resulting from land disturbing activities.
• All soil storage piles shall be located at least 25 feet from any downslope road, lake, stream, wetland, ditch, channel or other watercourse.
Stock piles that are left for more than 7 days should be seeded, covered with a tarp or have erosion control silt fence/bales installed on down slope side of the stock pile.
• Inspect all Erosion Control devices within 24 hours after each rain of 0.5 inches or more and at least once each week and make needed repairs within 48 hours.
• Maintain Erosion Control devices until disturbed areas are stabilized. The owner is responsible for removing erosion control measures once the soil on the site is stabilized.
 Keep a copy of the Conditionally Approved Erosion Control Plan on site.
 Call for the following Inspections: Permanent stabilization of disturbed area even after final occupancy of building Corrections made regarding Notice of Non-Compliance issuance
 Additional silt fencing and other erosion control measures may be required upon site inspections.

SIGNATURE OF APPLICANT ______ DATE _____

David Szela

Conditions of Approval

Revised 12/11

Based on the Uniform Dwelling Code SPS 320-325 your building plans have been **CONDITIONALLY APPROVED** and subject to the following conditions and all notes on plans and survey. **This list is not to be considered all-inclusive**. The complete code is available online at: http://www.commerce.state.wi.us/SB/SB-DivCodes.html or call 1-800-DOC-SALES

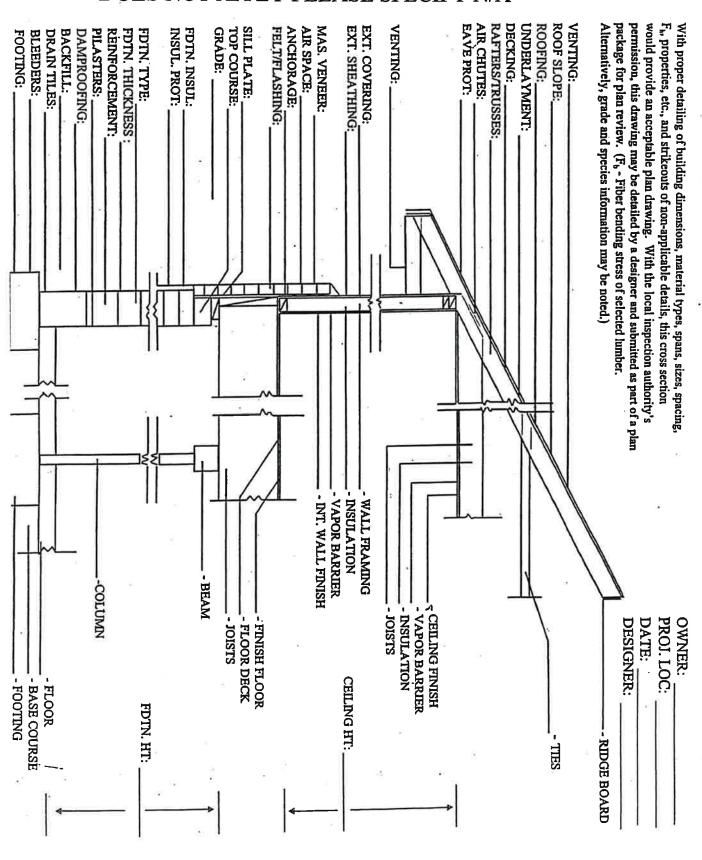
- POST BUILDING PERMIT CARD IN A CONSPICUOUS PLACE AT THE BUILDING SITE
- POST ADDRESS NUMBERS IN A CONSPICUOUS PLACE AND PER LOCAL ORDINANCE
- PROVIDE CONTRACTOR WITH THE APPROVED PLAN AND THESE CONDITIONS OF APPROVAL.

	PLEASE CANCEL/RESCHEDUL	E INSPECTION V	WHEN NOT REA	DY TO AVOID REINSPECTION FEE.
	Foundation insulation shall be R	from	to	and window R-values shall
	be	per the thermal p	erformance data s	ubmitted with plans.
	Please provide safe means (approved	l ladder, etc.) to acc	ess areas for which	an inspection request is made.
	Footings shall comply with SPS 321.			
	All footings, foundations and lintels		in. 48" below grad	e. 5P5 321.10.
	Drain tile installation is required per		tion nor CDC 221	19(1)(a)
	Structures including garages shall be	he provided per SD	111011 per 3F3 321	and shall be inspected before concealment
Ш	per SPS 320.10.	be provided per SF	3 321.16(2) & (3)	and shall be hispected before conceannent
П	Back fill for garage and basement flo	ors shall be clean s	and oravel or crus	hed stone per SPS 321.20.
	Spans and loads shall be determined			
	Provide make-up air for exhaust fans			
	Garage door headers shall be engineer).
	Do not stack shingles over 4 bundles			
	Bedroom windows shall conform to			
	Exterior wall shall be braced at the c	orners according to	SPS 321.25(8).	
	Joints in top plate shall be separated	by 2 (two) stud spa-	ces min. First top j	plate must join over studs. SPS 321.25(2).
	Smoke detectors shall be installed pe	er SPS 321.09, hard	wired, interconnect	cted, with battery backup.
	Provide fire blocking per SPS 321.08	85.		
	Fans shall terminate at the exterior o	f the building per S	PS 323.02(3).	1.045
		ply with SPS 321.04	1, 321.042, and 32	1.045.
				SPS 322.37(3).
	Air leakage and joint penetration sea	iling shall conform	to SPS 322.37.	
	1	CDC 221 00		
			1 25 and 221 27	
			1.23 and 321.27.	
	<u> </u>		21 32	
		formance (heat calc	s) data submitted s	shall be followed.
		ng and laheling ner	SPS 322.36. DO	NOT REMOVE LABELS
	Doors used as exits (min 2'-8" door	shall have at minir	num a 36" x 36" la	anding with no greater than an 8 inch riser(s).
		econd exit shall hav	e 2'-6" clear openi	ing width.
	÷ -	ovided per SPS 322.	42, 322.43 and 32	2.44.
	LVL beams may follow engineered	specs.		
			sis on all trusses,	engineered components, repairs and a copy of
	the thermal performance data on site	e at all times.		

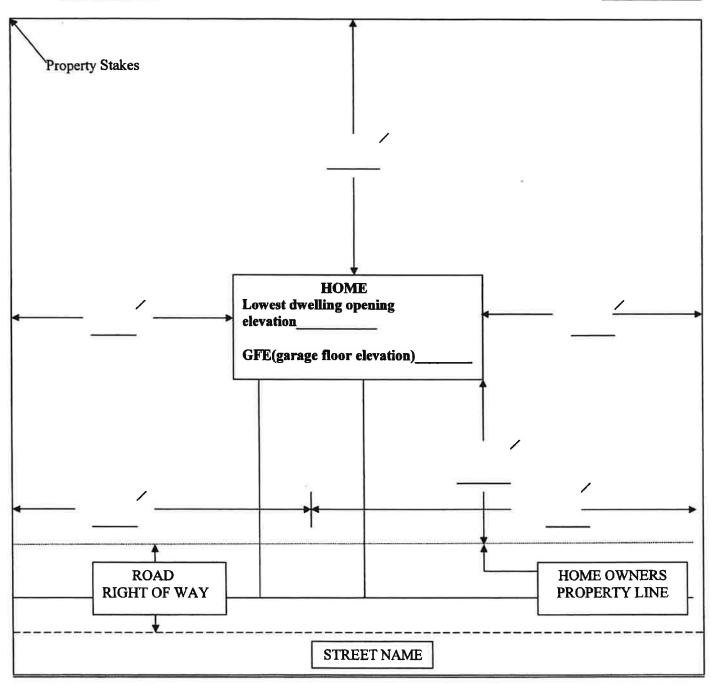
☐ Electrical Panel must be removed by responsible party before final inspection and then reinstalled after inspection. ☐ Carbon Monoxide detectors shall be installed per SPS 321.097 hard wired, interconnected, with battery backup.

Contractor/Homeowner_

PLEASE FILL OUT COMPLETELY ANYTHING THAT DOES NOT APPLY PLEASE SPECIFY N/A



MUNICIPALITY SITE PLAN



SHOW & LABEL

North Arrow — Street Name

E/C - Erosion Control including silt fence and or stock piles

D.W.- Driveway -including width & distance from property corner to center of driveway

Set Backs - Must be shown and dimensioned to structure. If house sits on a corner lot or at an angle,

the set back is from the closest or nearest point to the lot line.

Show in red (pen or pencil) if house is sitting at an angle or different from diagram

IF ANY OF THE ABOVE CONDITIONS DO NOT PERTAIN, YOU MUST CONVEY THIS FACT BY N/A (NOT APPLICABLE)

Owners Name:	Contractors:	
Contractors Call Phone No .		

Services		Permit Application						٧٥.				
Industry Services Divisio Wisconsin Stats. 101.63,	Instructions on b					ovide mav he	Parce	l No.			-	
		used by other gove		cy prograπ	ns [(Priv							
PERMIT REQUE	STED	Constr.	HVAC	·	tric [Plumb	oing 🗌 Ei	osion Co	ontrol	□ Ot	her:	
Owner's Name	7.0	N	Mailing Addr	ess						Tel.		
Contractor Name & Type		I	Lic/Cert# E	Exp Date	Mailir	ng Address				Telepho	one & Ema	il
Dwelling Contractor (Co	nstr.)											
Dwelling Contr. Qualifie Qualifier shall be an owner, Dwelling Contr.)												
HVAC												
Electrical Contractor												
Electrical Master Electric	ian											
Plumbing												
PROJECT Lot an Location —	reaSq.fi.	One acre or m	nore To	own 🔲 Vill	age	11	/4, 1/4, (of Section	, T	N.	R 1	E/W
		disturbed										
Building Address			unty			Subdivision			Lot	NO.	Block No	J.
Zoning District(s)		Zoning Permit N		Setba		Front	ft. Rear	ft.	Left	ft.	Right	ft.
I. PROJECT	epair	3. OCCUPANCY Single Family	6. ELEC		9. HVA	C EQUIP.	12. ENERGY Fuel	Nat LI	Oil	Elec	Solid	Solar
Alteration R:	aze	☐ Two Family ☐ Garage	Amps: Under			ant Basebd	Space Htg	Gas C		10		Geo
Other:	UVE	Other:	☐ Overh	ead	☐ Boile	:r	Water Hig			18		Ö
2. AREA INVOLVED (sq	ft)	4. CONST. TYPE	7.WALL		Centi							
Unit 1 Unit		Site-Built	☐ Steel		Othe		13. HEAT L	oss				
Unfin:		☐ Mfd. per WI UI									Calculated	
Bsmt Living		☐ Mfd. per US HUD	☐ Timbe		10. SEV		Envelope and Building Hea					
Arca		5, STORIES	8. USE			tary Permit#						
Garage		☐ 1-Story	☐ Seaso	1			14. EST. BU	ILDING CO	OST w/o	LAND		
Deck/ Porch		2-Story	☐ Perma	anent	11. WA	TER						
		Other:	Other	:	☐ Mu		1					
Totals		Basement				Site Well	\$					
I understand that I: am subject oditions of this permit; un information is accurate. If o management and the owner permission to enter the premission of the I am or we contractor Certification at APPLICANT (Prince and I am or we contractor Certification at APPLICANT (Prince and I am or we contractor Certification at APPLICANT (Prince and I am or we contractor Certification at the	nderstand that to the acre or more shall sign the s mises for which ill be an owner and have read	he issuance of this pe e of soil will be distu- statement on the back this permit is sought r occupant of this di- the cautionary state	ermit creates no orbed, I understa of the permit it t at all reasonab welling for wh ement regardia	o legal liabil and that this if not signin ble hours and ich I am ap ng contract	ity, expressions,	ess or implied is subject to d I expressly proper purpo or an erosion nsibility on t	d. on the state on the NR 151 regards the buildings to inspect the control or control or control pag	municipality rding addition rding inspector, e work which estruction poe e of this for	y; and ce onal crosi or the in h is being ermit win.	rtify that on contro spector's g done. thout a l	all the above of and storms authorized a welling	re water agent,
APPLICANT (Prin	DITIONS	This permit is is	ssued pursuant	to the follow	wing con	ditions. Faile	are to comply in	ay result in s	suspensio	on or revo	cation of thi	is
ISSUING	☐ Town of	permit or other	penalty. Sunty of			onditions o c-Contracted		Municipali	ly Numb	er of Dwo	lling Locati	ion
JURISDICTION	☐ Village of ☐ City of	☐ Stat	te			ncy#:						_
FEES:			IT(S) ISSUED) WIS P	ERMIT	SEAL#	PERMIT ISS	UED BY:				
			onstruction				Name					-,-
Inspection \$ _ Wis. Permit Seal \$ _		_ 🗀 н					Date					
Other \$		□ El	ectrical			_	Cert No.					
Total S_			umbing	, 1		1	Email:					-
SBD-5823(R08/17) Dist	tribute: Ply	/ 1 - Issuing Jurisc	osion Control	v 2- İssuer	forward	ls to state w	/in 30 days: [7 Plv 3- Ins	pector:	Plv 4	- Apolican	nt